Evergreen Playfield

Civil Site, TESC, Clearing and Grading Permit Set

October 28, 2020

Mountlake Terrace Recreation and Parks Department

ATTN: Jeff Betz, Director
5303 228th St. SW
Mountlake Terrace, WA 98043
425.776.9173

Consultant Team

Robert W. Droll, Landscape Architect PS
RECREATION FACILITY DESIGN
4405 7TH AVENUE SE, SUITE #203
LACEY, WA 98503
(360) 456-3813

KPFF Consulting Engineers
Civil Engineer
612 Woodland Square Loop SE, #100
LACEY, WA 98503
(360) 292-7230

Kleinfelder
Geotechnical Engineer
14710 NE 87th St. Suite 100
Redmond, WA 98502
(425) 636-7900

Sheet Index

Abbreviations

ABN	ABANDON	F&G	FRAME & GRADE	OC	ON CENTER	TOC	TOP OF CURB
AC	ASPHALTIC CONCRETE	FDN	FOUNDATION	OD	OUTSIDE DIAMETER	TOS	TOP OF SLAB
ADD	ADDITIVE	FFE	FINISH FLOOR ELEVATION	OR	OWNER'S REPRESENTATIVE	TW	TOP OF WALL
ALT	ALTERNATE	FG	FINISHED GRADE	PC	POINT OF CURVATURE	TYP	TYPICAL
ALUM	ALUMINUM	FIN GR	FINISH GRADE	PCC	PORTLAND CEMENT CONCRETE	UNO	UNLESS NOTED OTHERWISE
APPROX	APPROXIMATELY	FL	FLANGE	P.E.	PROFESSIONAL ENGINEER	VC	VERTICAL CURVE
A.T.	ALL-THREAD	FM	FORCE MAIN	PERF	PERFORATED	VERT	VERTICAL
@	AT	FT	FOOT, FEET	PERIM	PERIMETER	W/	WITH
BLKG	BLOCKING	FTG	FOOTING	PI	POINT OF INTERSECTION	W/IN	WITHIN
BM	BENCH MARK	GA	GAUGE	PLT	PLATE	W/O	WITHOUT
BMP	BEST MANAGEMENT PRATICES	GAL	GALLON	PLYWD	PLYWOOD	WD	WIDTH
BOC	BOTTOM OF CURB	GALV	GALVANIZED	POLY	POLYETHYLENE	WM	WATER MAIN
BW	BOTTOM OF WALL	GN	GROUND	PRO	PROPOSED	WSDOT	WASHINGTON STATE DEPARTMENT OF TRANSPORTATION
CB	CARRIAGE BOLT	GPM	GALS. PER MINUTE	PRV	PRESSURE REDUCING VALVE		
CB	CATCH BASIN	GV	GATE VALVE	PSE	PUGET SOUND ENERGY	WWM	WELDED WIRE MESH
CF	CUBIC FOOT	GW	SANDY GRAVEL	PSI	POUNDS PER SQUARE INCH		
CIE	COLLECTOR INVERT ELEVATION	HL	HELICAL	PT	POINT OF TANGENCY		
CL	CLASS	HMA	HOT MIX ASPHALT	PT	PRESSURE TREATED		
CLR	CLEARING, CLEARANCE	HP	HIGH POINT	PVC	POLYVINYL CHLORIDE		
CMP	CORRUGATED METAL PIPE	HT	HEIGHT	PVC	POINT OF VERTICAL CURVATURE		
CO	CLEANOUT	HZ	HORIZONTAL	PVI	POINT OF VERTICAL INTERSECTION		
CO	CONTRACTING OFFICER	ID	INSIDE DIAMETER	PVMT	PAVEMENT		
CONT	CONTINUOUS	I.E.	INVERT ELEVATION	PVT	POINT OF VERTICAL TANGENCY		
CONC	CONCRETE	IN	INCH	R	RADIUS		
CORR	CORRUGATED	INV	INVERT ELEVATION	REQ'D	REQUIRED		
CP	CENTER POINT	IRR	IRRIGATION	RP	RADIUS POINT		
CS	COUNTERSINK	JT	JOINT	S	SLOPE (FT/FT)		
CSBC	CRUSHED SURFACING BASE COURSE	L	LEFT, LONG	S	SOUTH		
CSTC	CRUSHED SURFACING TOP COURSE	LB	LAG BOLT	SCH	SCHEDULE		
CY	CUBIC YARD	LF	LINEAL FOOT/FEET	SD	STORM DRAIN		
DEMO	DEMOLISH	LP	LOW POINT	SEC	SECTION		
DET	DETAIL	LS	LAG SCREW	SF	SQUARE FEET		
DI	DUCTILE IRON	MAT'L	MATERIAL	SHLDR	SHOULDER		
DIA	DIAMETER	MAX	MAXIMUM	SIM	SIMILAR		
DTL	DETAIL	MB	MACHINE BOLT	SM	SILTY SAND		
DWG	DRAWING	MIL	1/1000th INCH	SP'D	SPACED		
E	EAST	MIN	MINIMUM	SQ	SQUARE		
EA	EACH	MJ	MECHANICAL JOINT	SS	SANITARY SEWER		
EL, ELEV	ELEVATION	MPOC	MID-POINT OF CURVE	STD	STANDARD		
ELEC	ELECTRICAL	N	NORTH	STA	STATION		
EOP	EDGE OF PAVEMENT	NIC	NOT IN CONTRACT	STL	STEEL		
EQ	EQUAL	NO.	NUMBER	SY	SQUARE YARD		
EQ SP	EQUAL SPACING	NOM	NOMINAL	TC	TOP OF CONCRETE		
EX, EXIST	EXISTING	NTS	NOT TO SCALE	THK	THICK		

Project Site

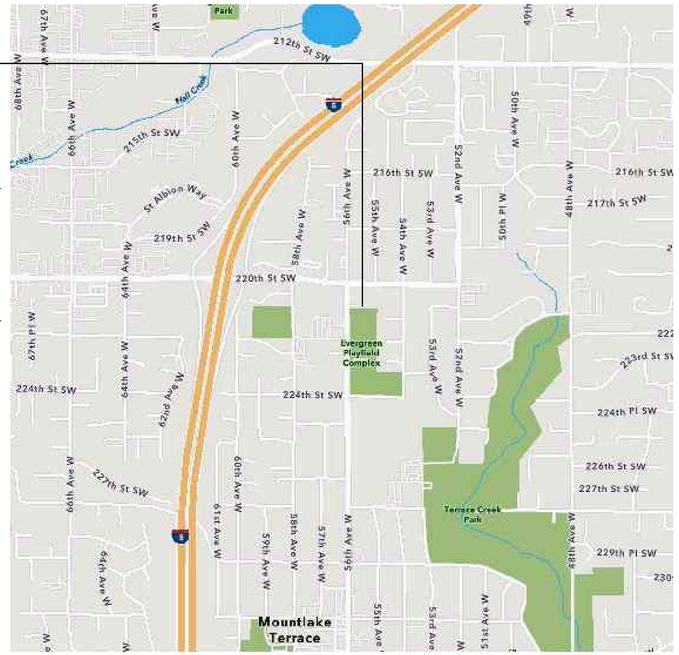
22231 56th Ave W.
Mountlake Terrace, WA 98043

Legal Description

A PORTION OF THE NE QUARTER, OF THE SW QUARTER OF SECTION 28, TOWNSHIP 27 N, RANGE 04 E, W.M, CITY OF MOUNTLAKE TERRACE, COUNTY OF SNOHOMISH, STATE OF WASHINGTON

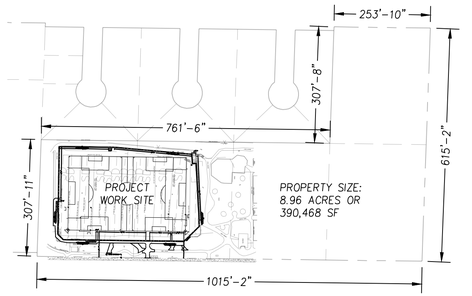
Parcel Information

Snohomish County Tax Parcel #: 0052000010-0200



Vicinity Map

NTS



Property Size and Dimensions

Scale: 1"=200'

MARK R. STEPP
STATE OF WASHINGTON
34883
REGISTERED PROFESSIONAL ENGINEER

10-29-2020

G1.0

Grading General Notes

1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR ROAD, BRIDGE,AND MUNICIPAL CONSTRUCTION," WASHINGTON STATE DEPARTMENT OF TRANSPORTATION, CURRENT EDITION, TOGETHER WITH THE LATEST EDITION OF THE CITY OF MOUNTLAKE TERRACE ENGINEERING STANDARDS.
2. AN APPROVED COPY OF THESE PLANS MUST BE ON SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
3. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN STREET USE AND ANY OTHER RELATED PERMITS PRIOR TO ANY CONSTRUCTION ACTIVITY IN CITY RIGHT-OF-WAY.
4. PRIOR TO ANY CONSTRUCTION ACTIVITY, THE CITY OF MOUNTLAKE TERRACE ENGINEERING DEPARTMENT (425-776-1161) MUST BE CONTACTED FOR A PRECONSTRUCTION MEETING.
5. ALL LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN, AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN. THE CONTRACTOR SHALL CONTACT THE UTILITIES UNDERGROUND LOCATION SERVICE (1-800-424-5555) PRIOR TO CONSTRUCTION. THE OWNER OR HIS REPRESENTATIVE SHALL BE IMMEDIATELY CONTACTED IF A UTILITY CONFLICT EXISTS.
6. THE TEMPORARY EROSION/SEDIMENTATION CONTROL FACILITIES SHALL BE CONSTRUCTED PRIOR TO ANY GRADING OR EXTENSIVE LAND CLEARING IN ACCORDANCE WITH THE APPROVED TEMPORARY EROSION/SEDIMENTATION CONTROL PLANS. THESE FACILITIES MUST BE SATISFACTORILY MAINTAINED UNTIL CONSTRUCTION AND LANDSCAPING IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED.
7. ALL ROCKERIES SHALL CONFORM WITH THE CITY OF MOUNTLAKE TERRACE STANDARD PLAN NO. 601. A FOUR (4) INCH MINIMUM DIAMETER PVC PERFORATED PIPE, OR EQUAL, WILL BE INSTALLED BEHIND THE ROCKERY AT OR BELOW THE BOTTOM OF THE LOWEST ROCK IN THE ROCKERY BACKFILL (SEE DETAIL). THIS PIPE SHALL BE DIRECTLY CONNECTED TO THE UNDERGROUND STORM DRAINAGE SYSTEM WITH NON-PERFORATED PVC PIPE OR AS OTHERWISE SHOWN ON THE PLANS.
8. ALL EARTHWORK UNDER PAVING SHALL BE COMPACTED TO MINIMUM 95% DRY OPTIMUM DENSITY PER ASTM D-1557, OR LATEST REVISION, (MODIFIED PROCTOR).
9. UNLESS OTHERWISE NOTED, ALL ELEVATIONS SHOWN IN PAVED AREAS ON THE PLANS ARE TOP OF PAVING.
10. SEE TEMPORARY EROSION/SEDIMENTATION CONTROL GENERAL NOTES FOR ACCEPTABLE EROSION CONTROL MEASURES UPON COMPLETION OF GRADING.
11. MAJOR EXPOSED GRADED SLOPES SHOWN ON THESE PLANS SHALL BE PROTECTED WITH PLASTIC SHEETS UNTIL SUCH TIME AS THE VEGETATIVE COVER HAS BEEN ESTABLISHED SUFFICIENTLY TO ELIMINATE EROSION.
12. GRADES SHOWN REPRESENT THE ENGINEER'S ESTIMATE OF APPROXIMATE MINIMUM EARTHWORK, PRESERVATION OF THE MAXIMUM NUMBER OF EXISTING TREES, AND OTHER GRADING/SOIL CONSIDERATIONS. THE CONTRACTOR MAY ALTER THE GRADES SHOWN TO BETTER ACHIEVE THESE RESULTS, PROVIDED THAT ANY ALTERATION IS SUBJECT TO THE PRIOR APPROVAL IN WRITING BY THE ENGINEER, OWNER, AND THE APPROPRIATE DEPARTMENTS OF THE CITY OF MOUNTLAKE TERRACE.
13. THE SITE WORK IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE APPROVED PLANS WHICH ARE ON FILE IN THE ENGINEERING DEPARTMENT. ANY DEVIATION FROM THE APPROVED PLANS WILL REQUIRE APPROVAL FROM THE PROPER AGENCY. GRADING GENERAL NOTES
14. THE CONTRACTOR SHALL KEEP PARKING LOTS AND STREETS CLEAN AT ALL TIMES BY SWEEPING. WASHING OF ANY STREETS, PARKING LOTS OR DRIVEWAYS TO REMOVE CONSTRUCTION RELATED DIRT IS STRICTLY FORBIDDEN AND SUBJECT TO FINES.
15. ALL PARKING AND DRIVEWAY AREAS TO HAVE POSITIVE DRAINAGE TO COLLECTION, CONVEYANCE SYSTEMS OR OVERLAND SHEET DRAIN AREAS AT A MINIMUM OF ONE PERCENT SLOPE. PLAN DETAILS SHALL NOT SUPERSEDE THIS REQUIREMENT.
16. OPEN-CUT ROAD CROSSINGS FOR UTILITY TRENCHES ON EXISTING TRAVELED ROADWAYS SHALL BE BACKFILLED IN ACCORDANCE WITH CITY OF MOUNTLAKE TERRACE STANDARD PLAN NO. 112 AND MECHANICALLY COMPACTED. CUTS INTO THE EXISTING ASPHALT SHALL BE NEAT LINE CUT WITH SAW IN A CONTINUOUS LINE. A TEMPORARY COLD MIX PATCH MUST BE PLACED IMMEDIATELY AFTER BACKFILL AND COMPACTION. A PERMANENT HOT MIX PATCH SHALL BE PLACED WITHIN 30 DAYS AND SHALL BE THE THICKNESS OF THE ORIGINAL ASPHALT, OR THREE (3) INCHES, WHICHEVER IS GREATER. A 2" THICK ATB TEMPORARY PATCH MAY BE USED IN LIEU OF A COLD MIX PATCH.
17. EXTRUDED CEMENT CONCRETE CURBS AROUND ASPHALT EDGES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF MOUNTLAKE TERRACE STANDARD PLAN NO. 109.
18. EXISTING VEGETATION SHALL BE RETAINED IN AREAS WHERE GRADING IS UNNECESSARY.
19. ALL RECOMMENDATIONS MADE BY THE GEOTECHNICAL ENGINEER(S) UP TO NOW, OR AT ANY TIME IN THE FUTURE, INCLUDING, BUT NOT LIMITED TO RECOMMENDATIONS FOR CONSTRUCTION TECHNIQUES, CONSTRUCTION SCHEDULE, AND CONTROL OF STORM WATER RUNOFF THROUGHOUT THE PROJECT COMPLETION SHALL BE FOLLOWED. WHOMEVER CONSTRUCTS SITE IMPROVEMENTS SHALL RETAINED A LICENSED GEOTECHNICAL ENGINEER TO OVERSEE AND ADVISE DURING CONSTRUCTION AND SITE GRADING TO ASSURE THAT ALL GEOTECHNICAL RECOMMENDATIONS ARE ADHERED TO. THE APPLICANT IS RESPONSIBLE FOR PROVIDING SPECIAL INSPECTION AND COMPACTION CERTIFICATION FOR THE BUILDING PADS, UTILITY TRENCHES, RETAINING WALLS AND DETENTION VAULT/TANK BACKFILL.

Storm Drainage General Notes

1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION," WASHINGTON STATE DEPARTMENT OF TRANSPORTATION, CURRENT EDITION, TOGETHER WITH THE LATEST EDITION OF THE CITY OF MOUNTLAKE TERRACE ENGINEERING STANDARDS.
2. AN APPROVED COPY OF THESE PLANS MUST BE ON SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
3. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN STREET USE AND ANY OTHER RELATED PERMITS PRIOR TO ANY CONSTRUCTION ACTIVITY IN CITY RIGHT-OF-WAY.
4. PRIOR TO ANY CONSTRUCTION ACTIVITY, THE CITY OF MOUNTLAKE TERRACE ENGINEERING DEPARTMENT (425-776-1161) MUST BE CONTACTED FOR A PRECONSTRUCTION MEETING.
5. ALL LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN, AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN. THE CONTRACTOR SHALL CONTACT THE UTILITIES UNDERGROUND LOCATION SERVICE (1-800-424-5555) PRIOR TO CONSTRUCTION. THE OWNER OR HIS REPRESENTATIVE SHALL BE IMMEDIATELY CONTACTED IF A UTILITY CONFLICT EXISTS.
6. CATCH BASINS, INLETS, YARD DRAINS, AND GRATES:
   A.ALL CATCH BASINS, INLETS, OR YARD DRAINS SHALL BE ONE OF THE FOLLOWING;
   1. YARD DRAIN – CITY OF MOUNTLAKE TERRACE STANDARD PLAN NO. 407 OR EQUAL.
   2. CONCRETE INLET -WSDOT B-25.60 OR EQUAL.
   3. CATCH BASIN – TYPE I -WSDOT B-5.20 OR EQUAL
   4. CATCH BASIN – TYPE IL -WSDOT B-5.40 OR EQUAL.
   5. CATCH BASIN – TYPE II -WSDOT B-10.20 OR EQUAL.
   6. OTHER CATCH BASIN TYPES SHALL BE APPROVED FOR INSTALLATION BY THE CITY ENGINEER.
   7. ALL TYPE II CATCH BASINS SHALL HAVE LADDERS OR SAFETY STEPS PER CITY OF MOUNTLAKE TERRACE STANDARD PLAN NO. 306 OR EQUAL.

   B. LOCKING GRATES ARE REQUIRED ON ALL CITY RIGHT-OF-WAY AND CITY EASEMENT INSTALLATIONS. ALL GRATES SHALL BE ONE OF THE FOLLOWING:
   1. CATCH BASINS TO BE CONSTRUCTED WITH A THROUGH-CURB INLET GRATE. SEE WSDOT STANDARD PLAN B-25.20
   2. ALL OTHER GRATES SHALL BE DUCTILE IRON, AND OF THE LOCKING TYPE. WSDOT B-30.30 AND B-30.50 FOR GRADES EQUAL OR MORE THAN 4 PERCENT.
   3. ALL CATCH BASIN FRAME AND GRATES IN THE CURB LINE SHALL BE FLUSH WITH THE PAVEMENT/CURB LEVEL. SOLID FRAME AND LIDS IN THE TRAVELED ROADWAY SHALL BE FLUSH.
   4. ALL OIL/WATER SEPARATOR AND DETENTION CONTROL CATCH BASIN GRATES SHALL BE OF THE LOCKING TYPE.
7. STORM SEWER PIPE:
   A. ALL STORM SEWER CONVEYANCE PIPE SHALL BE ONE OF THE FOLLOWING:
   1. CONCRETE, PER A.S.T.M. C-14, CLASS II, NON-REINFORCED BELL AND SPIGOT (WITH BELL FLUSH WITH C.B. WALL IF USED), WITH RUBBER GASKETS.
   2. PVC CONFORMING TO A.S.T.M. D-3034 – SDR 35.
   3. DUCTILE IRON CLASS 50 CONFORMING TO AWWA C 151.
   4. PIPE MAY BE ANY OF THE ABOVE PROVIDED:
      a) PIPE JOINTS MUST BE OF THE SAME MATERIALS.
      b)WHERE A PIPE MATERIAL IS SPECIFICALLY SHOWN ON THE PLAN, THAT MATERIAL MUST BE USED. ANY CHANGES TO THE PIPE MATERIAL SHOWN ON THE PLAN MUST BE PREAPPROVED.
   5. MINIMUM PIPE COVER IS DEPENDENT ON PIPE TYPE.
8. ALL PIPE BEDDING SHALL CONFORM TO STANDARDS SPECIFICATIONS SECTION 7-08.3(1)C, STANDARD SPECIFICATIONS FOR DUCTILE IRON, PVC PIPE, OR CONCRETE PIPE. ALL TRENCH BACKFILL SHALL BE COMPACTED MINIMUM 95% DRY OPTIMUM DENSITY PER ASTM D1557, OR LATEST REVISION, (MODIFIED PROCTOR).
9. ALL PIPE SHALL BE LAID ON A PROPERLY PREPARED FOUNDATION ACCORDING TO STANDARD SPECIFICATIONS SECTION 7-08.3(2)B. THIS SHALL INCLUDE NECESSARY LEVELING OF THE TRENCH BOTTOM OR THE TOP OF THE FOUNDATION MATERIAL AS WELL AS PLACEMENT AND COMPACTION OF REQUIRED BEDDING MATERIAL TO UNIFORM GRADE SO THAT THE ENTIRE LENGTH OF THE PIPE WILL BE SUPPORTED ON A UNIFORMLY DENSE UNYIELDING BASE. IF THE NATIVE MATERIAL IN THE BOTTOM OF THE TRENCH MEETS THE REQUIREMENTS FOR "GRAVEL BACKFILL FOR PIPE ZONE BEDDING," STANDARD SPECIFICATIONS SECTION 9-03.12(3), THE FIRST LIFT OF PIPE BEDDING MAY BE OMITTED, PROVIDED THE MATERIAL IN THE BOTTOM OF THE TRENCH IS LOOSENED, REGRADED, AND COMPACTED TO FORM A DENSE UNYIELDING BASE.
10. ALL ROOF AND FOOTING DRAINS SHALL BE LOCATED IN THE FIELD AND ADJUSTED AS NECESSARY TO AVOID IMPACTING EXISTING TREES TO BE SAVED AS DENOTED ON THE GRADING PLAN. DRAIN LINES SHOULD BE LOCATED OUTSIDE THE DRIPLINE OF TREES TO BE SAVED WHENEVER POSSIBLE.
11. THE STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED ACCORDING TO THE APPROVED PLANS WHICH ARE ON FILE IN THE ENGINEERING DEPARTMENT. ANY DEVIATION FROM THE APPROVED PLANS WILL REQUIRE WRITTEN APPROVAL FROM THE PROPER AGENCY.
12. BUILDINGS SHALL NOT BE PERMITTED WITHIN 10 FEET OF THE SPRING LINE OF ANY STORM DRAIN PIPE, OR WITHIN 15 FEET OF THE TOP OF A CHANNEL BANK. STORM SEWERS 6" DIAMETER OR LESS MAY BE LOCATED WITHIN 30" OF A STRUCTURE PROVIDED THAT THE SOIL SUPPORT PRISM IS NOT DISTURBED FOR THE ADJACENT FOUNDATION.
13. PRIOR TO OCCUPANCY, THE PERMANENT STORM DRAINAGE SYSTEM MUST BE CLEANED OUT BY PUMPING. (DO NOT PUMP OR DISPOSE OF THIS WASTE INTO ANY STREAM, STORM SEWER, OR SANITARY SEWER SYSTEM.)
14. RIP RAP ROCK FOR EROSION PROTECTION SHALL BE OF SOUND QUARRY ROCK PLACED TO A MINIMUM DEPTH OF ONE (1) foot. ROCK AGGREGATE TO BE AS FOLLOWS:

ROCK SIZE	PERCENTAGE
8"	40% TO 70%
2" TO 4"	20% TO 40%
1/2" TO 2"	10% TO 40%

15. TESTING OF ALL STORM SEWER PIPE WILL BE AT THE OPTION OF THE CITY OF MOUNTLAKE TERRACE. ALL PIPE WILL BE INSPECTED BY TV VIEWING.
16. WHEN PLAIN ALUMINUM PIPE ARCH IS USED WHERE IT WILL BE IN CONTACT WITH CONCRETE OR CONCRETE PIPE, ALL ALUMINUM SURFACES IN CONTACT WITH THE CONCRETE OR CONCRETE PIPE SHALL BE PAINTED WITH TWO COATS OF PAINT. THE ALUMINUM PIPE TO BE PAINTED SHALL BE CLEANED WITH SOLVENT TO REMOVE CONTAMINANTS. AFTER CLEANING, THE PIPE SHALL BE PAINTED WITH TWO COATS OF PAINT CONFORMING TO FEDERAL SPECIFICATION TT-P-645 (PRIMER, PAINT, ZINC CHROMATE, ALKYD VEHICLE).
17. AN AS BUILT STORM SEWER DRAWING SHALL BE SUBMITTED FOR ALL DEVELOPMENTS, SHORT PLATS, AND SUBDIVISIONS.
18. SAND COLLARS OR OTHER CITY APPROVED COUPLINGS ARE REQUIRED ON ALL PVC PIPE CONNECTIONS TO CONCRETE CATCH BASINS OR MANHOLES.
19. ALL STORM SEWERS SHALL BE DESIGNED AND CONSTRUCTED TO GIVE MEAN VELOCITIES, WHEN FLOWING FULL, OF NOT LESS THAN 3 FEET PER SECOND.
20. FOR CITY MAINTAINED STORM SYSTEMS, TRASH RACKS SHALL BE INSTALLED ON THE UPSTREAM END OF PIPES OR CULVERTS.

TESC General Notes

1. PRIOR TO ANY CONSTRUCTION, RECONSTRUCTION, OR RENOVATION ACTIVITY, THE CITY OF MOUNTLAKE TERRACE ENGINEERING DEPARTMENT MUST BE CONTACTED FOR A PRECONSTRUCTION MEETING (425-776-1161).
2. AN APPROVED COPY OF THESE PLANS MUST BE ON SITE AT ALL TIMES.
3. ALL LIMITS OF CLEARING AND AREAS OF VEGETATION PRESERVATION AS PRESCRIBED ON THE PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD AND MAINTAINED DURING CONSTRUCTION.
4. WHERE POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL AND TO MINIMIZE EROSION CONTROL MEASURES, AND DIRECT SURFACE RUNOFF AWAY FROM THE EXPOSED AREAS, STEEP SLOPES, OR EROSION HAZARD AREA.
5. ALL REQUIRED SEDIMENTATION/EROSION CONTROL FACILITIES MUST BE CONSTRUCTED AND IN OPERATION PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE NATURAL DRAINAGE SYSTEM OR OFF-SITE STORM DRAINS. (SEE CONSTRUCTION SEQUENCE.) ALL EROSION AND SEDIMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. SYSTEM IMPLEMENTATION, MAINTENANCE, AND REPLACEMENT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE, ALONG WITH ANY REQUIRED ADDITIONS.
6. THE EROSION AND SEDIMENTATION CONTROL SYSTEMS DEPICTED ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS DICTATE, THE PERMITTEE SHOULD ANTICIPATE THAT MORE EROSION AND SEDIMENTATION CONTROL FACILITIES MAY BE NECESSARY TO INSURE COMPLETE EROSION AND SEDIMENT CONTROL ON THE SITE. DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AN RESPONSIBILITY OF THE PERMITTEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES, OVER AND ABOVE MINIMUM REQUIREMENTS SHOWN, AS MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES AND WATER QUALITY OF THE RECEIVING DRAINAGE SYSTEM. ADDITIONAL MEASURES MAY ALSO BE REQUIRED BY THE CITY OF MOUNTLAKE TERRACE INSPECTOR.
7. APPROVAL OF THE PLAN IS FOR EROSION/SEDIMENTATION CONTROL ONLY. IT DOES NOT CONSTITUTE AN APPROVAL OF STORM DRAINAGE DESIGN, SIZE OR LOCATION OF PIPES, RESTRICTORS, CHANNELS, OR RETENTION FACILITIES.
8. IN ANY WORK WHICH HAS BEEN STRIPPED OF VEGETATION AND WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF 30 DAYS OR MORE, ALL DISTURBED AREAS MUST BE IMMEDIATELY STABILIZED WITH BY MULCHING, HYDROSEEDING, OR OTHER APPROVED EROSION CONTROL MEASURE APPLICABLE TO THE TIME OF YEAR IN QUESTION. GRASS SEEDING ALONE WILL BE ACCEPTABLE ONLY DURING THE MONTHS OF APRIL THROUGH SEPTEMBER INCLUSIVE. SEEDING MAY PROCEED WHENEVER IT IS IN THE INTEREST OF THE PERMITTEE, BUT MUST BE AUGMENTED WITH MULCHING, NETTING, OR OTHER MEASURES APPROVED BY THE CITY OF MOUNTLAKE TERRACE, OUTSIDE OF THE SPECIFIED TIME PERIOD.
9. GRASS SEEDING SHALL BE DONE USING AN APPROVED TYPE HYDRO-SEEDER, OR AS OTHERWISE APPROVED BY THE CITY OF MOUNTLAKE TERRACE. SEED MIX SHALL CONSIST OF RAPID, PERSISTENT, AND LEGUME GRASSES (MIN. 80LB. PER ACRE) AS NOTED BELOW UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER:
   - 70% PERENNIAL RYEGRASS(3 VARIETIES)
   - 30% RED AND/OR CHEWINGS FESCUES(2 VARIETIES)
10. STRAW MULCH SHALL CONSIST OF A MINIMUM THICKNESS OF FOUR (4) INCHES SPREAD EVENLY OVER THE SURFACE TO BE PROTECTED. MULCH MUST BE PROPERLY ANCHORED TO THE GROUND. NETTING MAY BE REQUIRED TO HOLD MULCH IN PLACE ON STEEP SLOPES.
11. A MINIMUM THREE (3) FOOT HIGH CHAIN LINK FENCE SHALL BE CONSTRUCTED AROUND ANY POND USED FOR TEMPORARY EROSION/SEDIMENTATION CONTROL SEDIMENTATION AND/OR DETENTION WHEN IT CAN BE EXPECTED THAT THE WATER DEPTH WILL EXCEED ONE (1) FOOT.
12. THE CONTRACTOR SHALL ASSURE THAT NO CONCRETE OR CONCRETE BY-PRODUCTS, CHEMICALS, PAINTS, GLUES, OR ANY OTHER POLLUTANTS ENTER THE STORM DRAINAGE SYSTEM OR NATURAL STREAM COURSES.
13. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES WHEN THE EROSION HAZARD IS COMPLETELY OVER. REMOVE ALL DEPOSITED SEDIMENT AND DEBRIS AND REHABILITATE THE DISTURBED AREAS BY PLANTING VEGETATIVE COVER AS REQUIRED BY THE CITY OF MOUNTLAKE TERRACE.
14. THE APPLICANT SHALL PROVIDE FOR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL TO BE ONSITE OR ON-CALL AT ALL TIMES. A SPILL CONTROL KIT SHALL BE KEPT ON-SITE FOR ALL CONSTRUCTION EQUIPMENT.

Evergreen Playfield

22231 56th Ave W.
Mountlake Terrace, WA 98043

Robert W. Droll
Landscape Architect, PS
4405 7th Avenue SE, Ste. 203
Lacey, WA 98503
(360) 456-3813
FAX (360) 493-2063
E-MAIL bob@rwdroll.com
Landscape Architecture
Site Planning
Environmental Design
Urban Design
Land Planning
Project Management

STATE OF WASHINGTON
ROBERT W. DROLL
LANDSCAPE ARCHITECT

MARK R. STEEPY
STATE OF WASHINGTON
34863
REGISTERED PROFESSIONAL ENGINEER
10-29-2020

kpff Consulting Engineers
612 Woodland Square Loop SE, Suite 100
Lacey, Washington 98503
(360) 292-7230 Fax (360) 292-7231

Permit Set

PROJECT NO. 19068
DRAWING

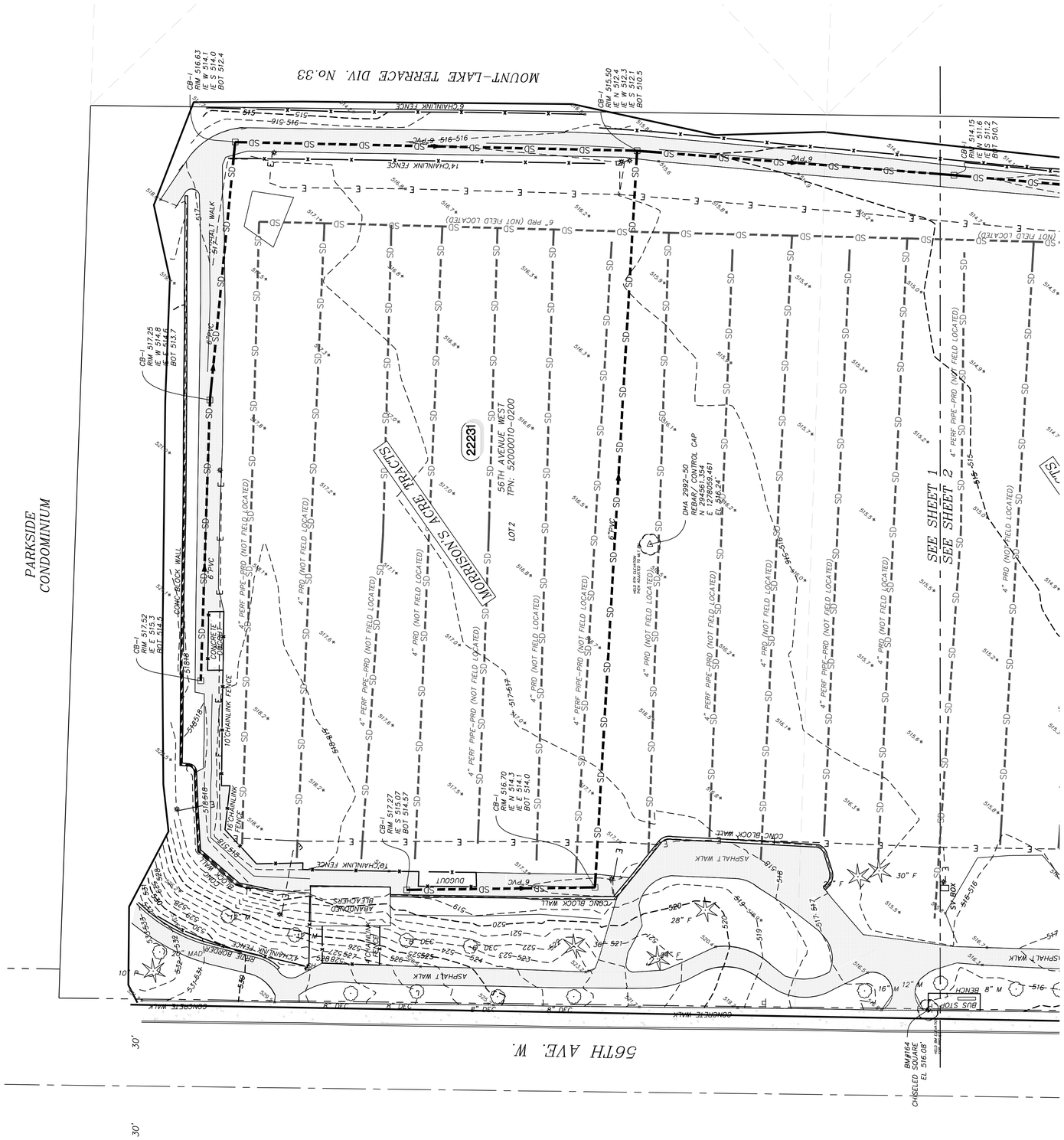
DESIGNED BY BD, DC, RT
DRAWN BY RT, PV
CHECKED BY BD

REVISION DATE	CHANGE

DATE: October 28, 2020

General Notes

G1.1



SCALE: 1"=20'

0' 10' 20' 30' 40'

HORIZONTAL DATUM: THE WASHINGTON STATE PLANE COORDINATE SYSTEM, NORTH ZONE NAD83(2011), AS EXTENDED TO THE PROJECT SITE UTILIZING REAL-TIME (RTK) GPS TECHNIQUES.

PRIMARY SURVEY CONTROL POINTS USED:

1. *GP31005-204:* METAL ROD AND WSDOT ALUMINUM DISC IN THE NORTHWEST QUADRANT SR-005 AND 220TH ST SW.
2. *GP31005-40* WSDOT BRASS DISC IN NORTHERLY CONCRETE WALKWAY OF 236TH ST SW UNDERCROSSING.

VERTICAL DATUM: NAVD88, US FEET, AS PRESCRIBED BY THE CITY OF MOUNTLAKE TERRACE.

CITY OF MOUNTLAKE TERRACE BENCHMARK:

BM#164
CHISELED SQUARE IN NW. CORNER OF CONCRETE PAD FOR BUS STOP SHELTER ON THE EAST SIDE OF 56TH AVE. W, OPPOSITE HOUSE# 22106
ELEVATION = 516.08'

BM#009
2" BRONZE CAP STAMPED "CITY OF MOUNTLAKE TERRACE BM#009, 0.4' SOUTH AND 0.4' WEST OF NORTHEAST CORNER OF CONCRETE PAD FOR BUS STOP SHELTER ON EAST SIDE OF 56TH AVE. W. 100' NORTH OF INTERSECTION WITH 224TH ST. S.W.
ELEVATION = 515.91'

SITE BENCHMARK:

TBM#1
DHA 2992-50
REBAR AND DHA CONTROL CAP 160.4' EAST AND 95.9' NORTH OF BM#164
ELEVATION = 516.24'

CONTOUR INTERVAL: (1) ONE FOOT CONTOURS

LINETYPES:

- RIGHT OF WAY CENTERLINE
- RIGHT OF WAY
- BOUNDARY LINE
- PLATTED LOT LINE
- SD — UNDERGROUND STORM LINE
- SS — UNDERGROUND SEWER LINE
- T — UNDERGROUND TELEPHONE LINE
- W — WATER LINE
- E — UNDERGROUND POWER LINE
- ASPHALT WALK
- FENCE LINE
- GRAVEL ROAD

LEGEND:

SYMBOLS:

- LIGHT POLE
- CATCH BASIN
- CONIFER TREE
- DECIDUOUS TREE
- SIGN
- DHA SURVEY CONTROL
- MONUMENT IN CASE
- BENCHMARK
- VALVE
- SANITARY CLEAN-OUT
- WATER METER
- TELEPHONE VAULT
- CULVERT
- ROCKERY

ABBREVIATIONS:

PRD	PER RECORD DRAWING
CONC	CONCRETE
PRD	PER RECORD DRAWING
SH	SPRINKLER HEAD
IE	INVERT ELEVATION
BOT	BOTTOM STRUCTURE
PVC	POLY VINYL CHLORIDE PIPE
CMP	CORRUGATED METAL PIPE
CB	CATCH BASIN
F	FIR TREE
M	MAPLE TREE
P	PINE TREE
MAD	MADRONA TREE
C	CEDAR TREE
FT	FRUIT TREE
SEQ	SEQUOIA TREE
ORN	ORNAMENTAL TREE
DEC	DECIDUOUS TREE
H	HOLLY TREE

NOTES:

1. ALL MONUMENTS VISITED DURING FEBRUARY 2020 UNLESS OTHERWISE NOTED.

2. EQUIPMENT: THE PRIMARY MEASUREMENT EQUIPMENT UTILIZED IN THE PERFORMANCE OF THIS SURVEY WAS A LEICA MS-60 ELECTRONIC TOTAL STATION, SN# 883508.

3. THIS SURVEY COMPLIES WITH ALL STANDARDS AND GUIDELINES OF THE SURVEY RECORDING ACT AS PER CHAPTER 58.09 RCW AND CHAPTER 332-130 WAC.

4. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THERE MAY BE EASEMENTS OR OTHER DOCUMENTS OF RECORD THAT EFFECT THIS PARCEL THAT WOULD BE DISCLOSED BY THE PROCUREMENT OF A CURRENT TITLE REPORT.

5. THIS SURVEY REPRESENTS THE EXISTING PLANIMETRIC FEATURES AS THEY EXISTED ON SITE IN FEBRUARY 2020.

6. PROPERTY LINES SHOWN HEREON GENERATED FROM SNOHOMISH COUNTY COUNTY ASSESSORS RECORDS AND ARE CONSIDERED APPROXIMATE IN LOCATION.

SITE ADDRESS:

22231 56TH AVE W., MOUNTLAKE TERRACE, WA 98043..

SNOHOMISH COUNTY TAX PARCEL No. 52000010-0200.

TOPOGRAPHIC MAPPING:
THE MAP SHOWN HEREON IS THE RESULT OF A TOPOGRAPHIC SURVEY BY DUANE HARTMAN & ASSOCIATES, INC. (DHA) COMPLETED IN FEBRUARY 2020. DHA ASSUMES NO LIABILITY, BEYOND SAID DATE, FOR ANY FUTURE SURFACE FEATURE MODIFICATIONS OR CONSTRUCTION ACTIVITIES THAT MAY OCCUR WITHIN OR ADJOINING THE PERIMETER OF THIS SURVEY. CONTACT DHA (425/483-5355) FOR SITE UPDATES AND VERIFICATIONS.

UTILITIES MAPPING:
ALL EXISTING UTILITIES SHOWN HEREIN ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED BY RECORD LOCATION OR FIELD TIED AS A RESULT OF A UTILITY PAINT-OUT DURING THE COURSE OF THE FIELD SURVEY. DUANE HARTMAN & ASSOCIATES, INC. (DHA) ASSUMES NO LIABILITY FOR THE ACCURACY OF THE RECORD INFORMATION AND/OR THE UTILITY PAINT-OUT. FOR THE FINAL LOCATION OF THE EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION, CONTACT THE UTILITY OWNER/AGENCY AND UTILITIES UNDERGROUND CENTER (800/424-5555).

Evergreen Playfield

22231 56th Ave W.
Mountlake Terrace, WA 98043

Robert W. Droll
Landscape Architect, PS

4405 7th Avenue SE, Ste. 203
Lacey, WA 98503
(360) 456-3813
FAX (360) 493-2063
E-MAIL bob@rwdroll.com

Landscape Architecture
Site Planning
Environmental Design

Urban Design
Land Planning
Project Management

Permit Set

PROJECT NO. 19068
DRAWING
DESIGNED BY
DRAWN BY
CHECKED BY

REVISION

DATE	CHANGE

DATE: October 28, 2020

Existing Conditions - Sheet 1

G2.0

Sheet 3 of 19

HORIZONTAL DATUM: THE WASHINGTON STATE PLANE COORDINATE SYSTEM, NORTH ZONE NAD83(2011), AS EXTENDED TO THE PROJECT SITE UTILIZING REAL-TIME (RTK) GPS TECHNIQUES.

PRIMARY SURVEY CONTROL POINTS USED:

1. GP31005-204: METAL ROD AND WSDOT ALUMINUM DISC IN THE NORTHWEST QUADRANT SR-005 AND 220TH ST SW.
2. GP31005-40 WSDOT BRASS DISC IN NORTHERLY CONCRETE WALKWAY OF 236TH ST SW UNDERCROSSING.

VERTICAL DATUM: NAVD88, US FEET, AS PRESCRIBED BY THE CITY OF MOUNTLAKE TERRACE.

CITY OF MOUNTLAKE TERRACE BENCHMARK:

BM#164
CHISELED SQUARE IN NW. CORNER OF CONCRETE PAD FOR BUS STOP SHELTER ON THE EAST SIDE OF 56TH AVE. W, OPPOSITE HOUSE# 22106
ELEVATION = 516.08'

BM#009
2" BRONZE CAP STAMPED "CITY OF MOUNTLAKE TERRACE BM#009, 0.4' SOUTH AND 0.4' WEST OF NORTHEAST CORNER OF CONCRETE PAD FOR BUS STOP SHELTER ON EAST SIDE OF 56TH AVE. W. 100' NORTH OF INTERSECTION WITH 224TH ST. S.W.
ELEVATION = 515.91'

SITE BENCHMARK:

TBM#1
DHA 2992-50
REBAR AND DHA CONTROL CAP 160.4' EAST AND 95.9' NORTH OF BM#164
ELEVATION = 516.24'

CONTOUR INTERVAL: (1) ONE FOOT CONTOURS

LINETYPES:

- RIGHT OF WAY CENTERLINE
- RIGHT OF WAY
- BOUNDARY LINE
- PLATTED LOT LINE
- SD — UNDERGROUND STORM LINE
- SS — UNDERGROUND SEWER LINE
- T — UNDERGROUND TELEPHONE LINE
- W — WATER LINE
- E — UNDERGROUND POWER LINE
- ASPHALT WALK
- FENCE LINE
- GRAVEL ROAD

LEGEND:

SYMBOLS:

- LIGHT POLE
- CATCH BASIN
- CONIFER TREE
- DECIDUOUS TREE
- SIGN
- DHA SURVEY CONTROL
- MONUMENT IN CASE
- BENCHMARK
- VALVE
- SANITARY CLEAN-OUT
- WATER METER
- T TELEPHONE VAULT
- CULVERT
- ROCKERY

ABBREVIATIONS:

PRD	PER RECORD DRAWING
CONC	CONCRETE
PRD	PER RECORD DRAWING
SH	SPRINKLER HEAD
IE	INVERT ELEVATION
BOT	BOTTOM STRUCTURE
PVC	POLY VINYL CHLORIDE PIPE
CMP	CORRUGATED METAL PIPE
CB	CATCH BASIN
F	FIR TREE
M	MAPLE TREE
P	PINE TREE
MAD	MADRONA TREE
C	CEDAR TREE
FT	FRUIT TREE
SEQ	SEQUOIA TREE
ORN	ORNAMENTAL TREE
DEC	DECIDUOUS TREE
H	HOLLY TREE

NOTES:

1. ALL MONUMENTS VISITED DURING FEBRUARY 2020 UNLESS OTHERWISE NOTED.

2. EQUIPMENT: THE PRIMARY MEASUREMENT EQUIPMENT UTILIZED IN THE PERFORMANCE OF THIS SURVEY WAS A LEICA MS-60 ELECTRONIC TOTAL STATION, SN# 883508.

3. THIS SURVEY COMPLIES WITH ALL STANDARDS AND GUIDELINES OF THE SURVEY RECORDING ACT AS PER CHAPTER 58.09 RCW AND CHAPTER 332-130 WAC.

4. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THERE MAY BE EASEMENTS OR OTHER DOCUMENTS OF RECORD THAT EFFECT THIS PARCEL THAT WOULD BE DISCLOSED BY THE PROCUREMENT OF A CURRENT TITLE REPORT.

5. THIS SURVEY REPRESENTS THE EXISTING PLANIMETRIC FEATURES AS THEY EXISTED ON SITE IN FEBRUARY 2020.

6. PROPERTY LINES SHOWN HEREON GENERATED FROM SNOHOMISH COUNTY COUNTY ASSESSORS RECORDS AND ARE CONSIDERED APPROXIMATE IN LOCATION.

SITE ADDRESS:

22231 56TH AVE W., MOUNTLAKE TERRACE, WA 98043..

SNOHOMISH COUNTY TAX PARCEL No. 52000010-0200.

TOPOGRAPHIC MAPPING:
THE MAP SHOWN HEREON IS THE RESULT OF A TOPOGRAPHIC SURVEY BY DUANE HARTMAN & ASSOCIATES, INC. (DHA) COMPLETED IN FEBRUARY 2020. DHA ASSUMES NO LIABILITY, BEYOND SAID DATE, FOR ANY FUTURE SURFACE FEATURE MODIFICATIONS OR CONSTRUCTION ACTIVITIES THAT MAY OCCUR WITHIN OR ADJOINING THE PERIMETER OF THIS SURVEY. CONTACT DHA (425/483-5355) FOR SITE UPDATES AND VERIFICATIONS.

UTILITIES MAPPING:
ALL EXISTING UTILITIES SHOWN HEREIN ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED BY RECORD LOCATION OR FIELD TIED AS A RESULT OF A UTILITY PAINT-OUT DURING THE COURSE OF THE FIELD SURVEY. DUANE HARTMAN & ASSOCIATES, INC. (DHA) ASSUMES NO LIABILITY FOR THE ACCURACY OF THE RECORD INFORMATION AND/OR THE UTILITY PAINT-OUT. FOR THE FINAL LOCATION OF THE EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION, CONTACT THE UTILITY OWNER/AGENCY AND UTILITIES UNDERGROUND CENTER (800/424-5555).

Evergreen Playfield

22231 56th Ave W.
Mountlake Terrace, WA 98043

Robert W. Droll
Landscape Architect, PS

4405 7th Avenue SE, Ste. 203
Lacey, WA 98503
(360) 456-3813
FAX (360) 493-2063
E-MAIL bob@rwdroll.com

Landscape Architecture
Site Planning
Environmental Design

Urban Design
Land Planning
Project Management

Permit Set

PROJECT NO. 19068
DRAWING
DESIGNED BY
DRAWN BY
CHECKED BY

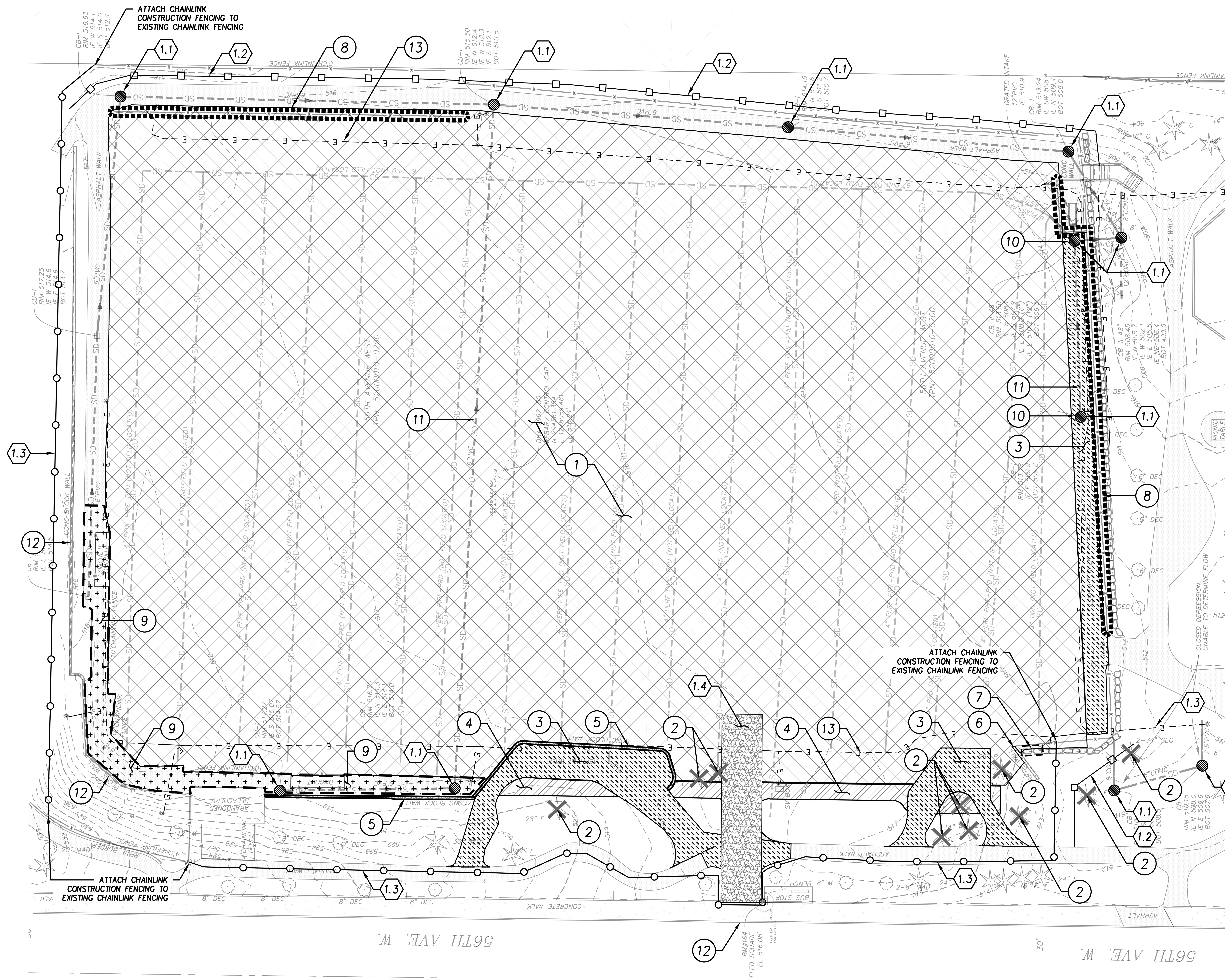
REVISION

DATE	CHANGE

DATE: October 28, 2020

Existing Conditions - Sheet 2

G2.1



Demo and TESC Detail Keynotes:

TESC		Detail / Sheet
1.1	STORM DRAIN INLET PROTECTION	4/D1.1
1.2	HIGH VISIBILITY SILT FENCING	1/D1.1
1.3	CHAINLINK CONSTRUCTION FENCING	3/D1.1
1.4	STABILIZED CONSTRUCTION ENTRANCE	2/D1.1

Demo and TESC Reference Notes

KEY	NOTE
1	EXCAVATE EXISTING PLAY FIELD MATERIAL TO 8" DEPTH MIN. MATCHING SYNTHETIC TURF SECTION AND DISPOSE OFFSITE
2	TREE TO BE REMOVED
3	EXCAVATE EXISTING ASPHALT PATHWAY TO FULL DEPTH AND DISPOSE OFFSITE
4	GRUB TO 4" DEPTH AND DISPOSE OFFSITE
5	DEMOLISH AND REMOVE CONCRETE BLOCK WALL
6	DEMO AND REMOVE RAILROAD TIE WALL
7	REMOVE SECTION OF BOULDER WALL AND SAVE FOR REUSE, APPROX. 8 LF
8	REMOVE CHAINLINK FENCE FABRIC AND DISPOSE OFFSITE
9	DUGOUT, BACKSTOP, ASPHALT PAVING AND CONCRETE PAVING IN THIS AREA DEMOLISHED AND REMOVED BY OTHERS
10	EXISTING CATCH BASIN TO REMAIN. PROTECT IN PLACE
11	EXISTING STORM DRAIN TO REMAIN. PROTECT IN PLACE
12	INSTALL CURB PROTECTION
13	EXISTING ELECTRICAL TO BE ABANDONED IN PLACE AND CUT THROUGH WHEN NECESSARY TO ACCOMMODATE NEW SUBSURFACE FIELD DRAINAGE

NOTE:
WITH THE EXCEPTION OF REFERENCE NOTE #11, ALL EXISTING SUBSURFACE FIELD DRAINAGE TO BE ABANDONED IN PLACE AND CUT THROUGH WHEN NECESSARY TO ACCOMMODATE NEW SUBSURFACE FIELD DRAINAGE

SCALE: 1"=20'
0' 10' 20' 30' 40'

Evergreen Playfield

22231 56th Ave W.
Mountlake Terrace, WA 98043

Robert W. Droll
Landscape Architect, PS
4405 7th Avenue SE, Ste. 203
Lacey, WA 98503
(360) 456-3813
FAX (360) 493-2063
E-MAIL bob@rwdroll.com

Landscape Architecture
Site Planning
Environmental Design

Urban Design
Land Planning
Project Management

STATE OF WASHINGTON
ROBERT W. DROLL
LANDSCAPE ARCHITECT
EXP. 12/09/2022

MARK R. STEEPY
STATE OF WASHINGTON
34863
REGISTERED PROFESSIONAL ENGINEER
10-29-2020

kpff Consulting Engineers
612 Woodland Square Loop SE, Suite 100
Lacey, Washington 98503
(360) 292-7230 Fax (360) 292-7231

Permit Set

PROJECT NO. 19068
DRAWING
DESIGNED BY BD, DC, RT
DRAWN BY RT, PV
CHECKED BY BD

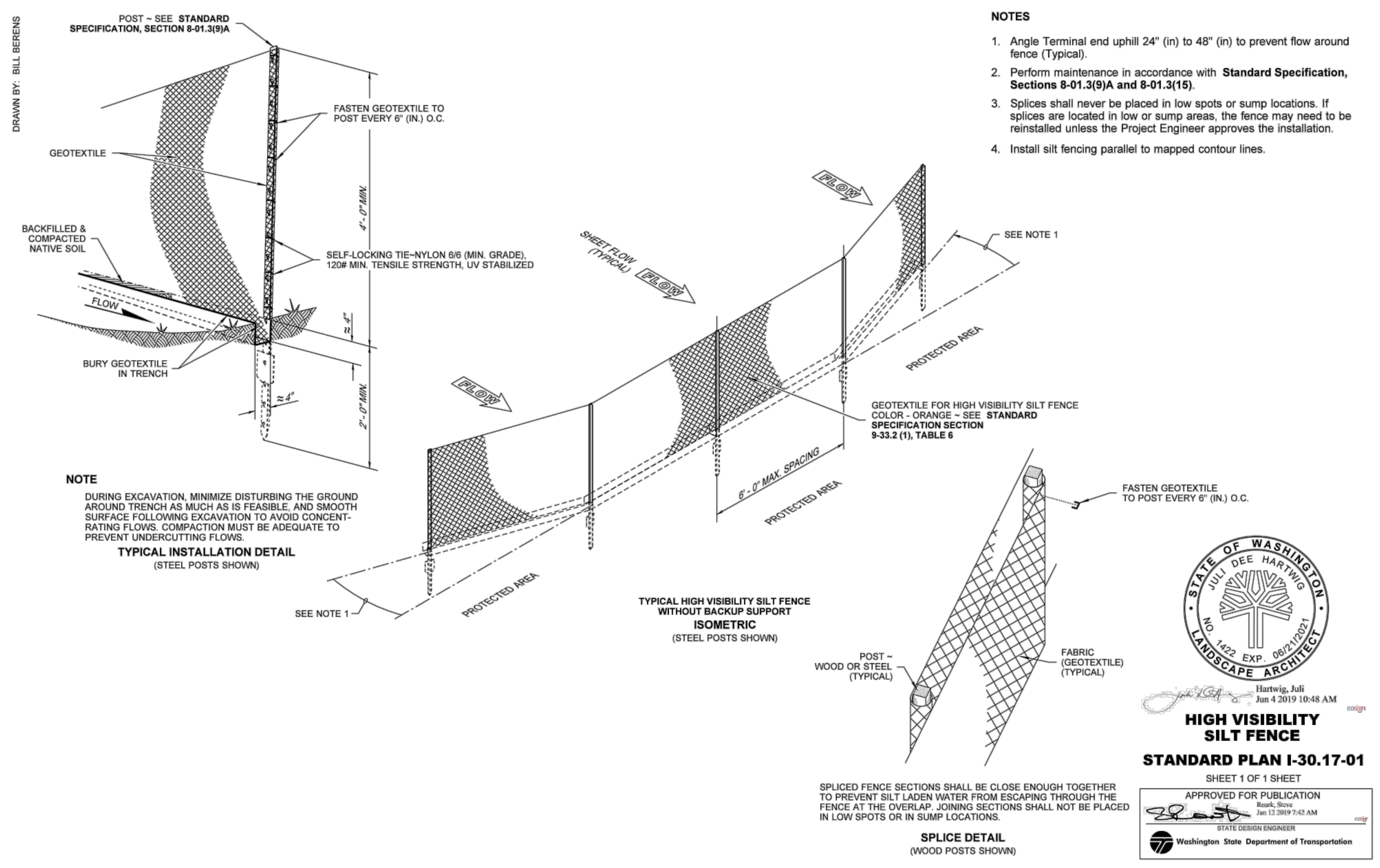
REVISION

DATE	CHANGE

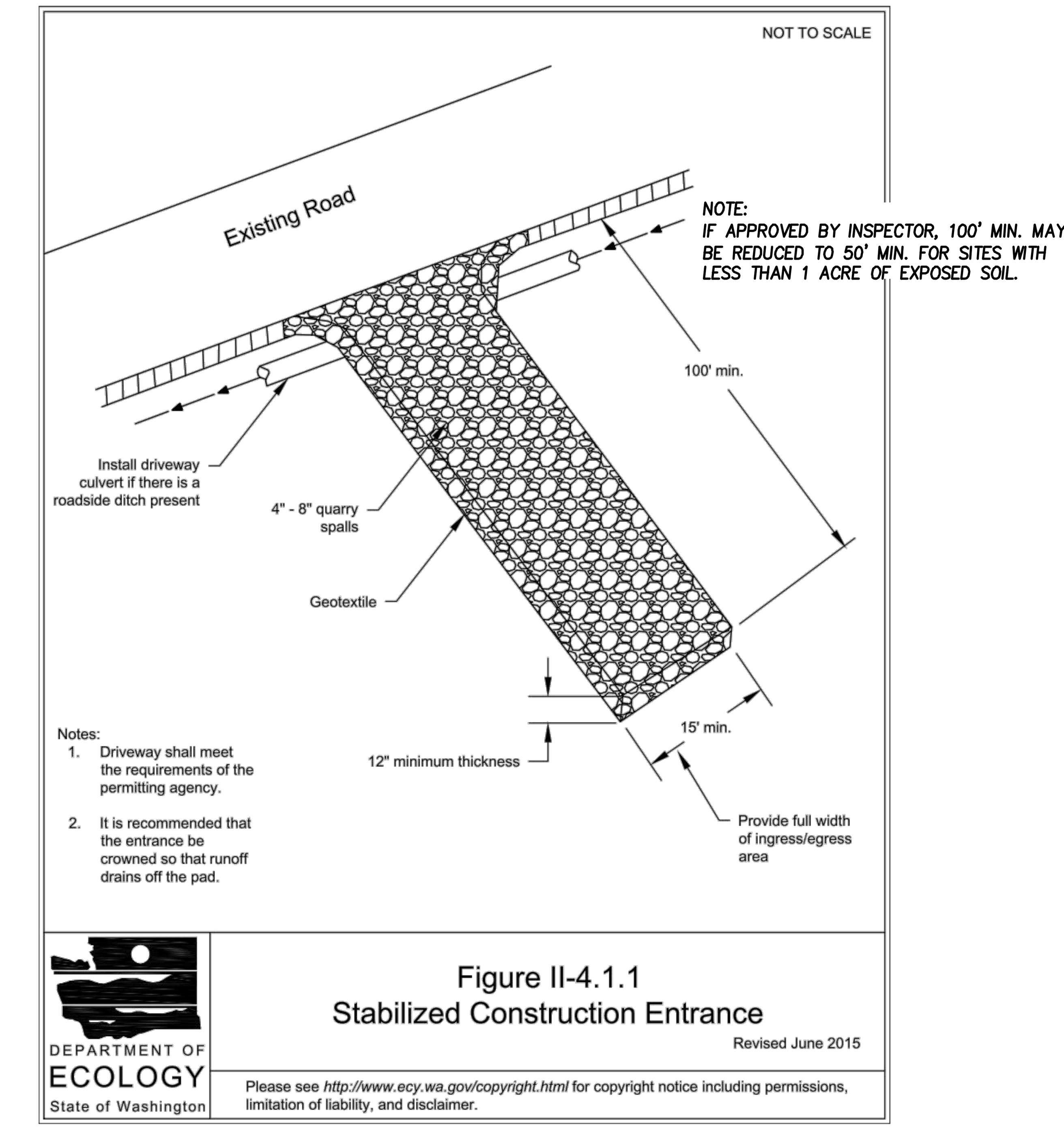
DATE: October 28, 2020

Demo and TESC Plan

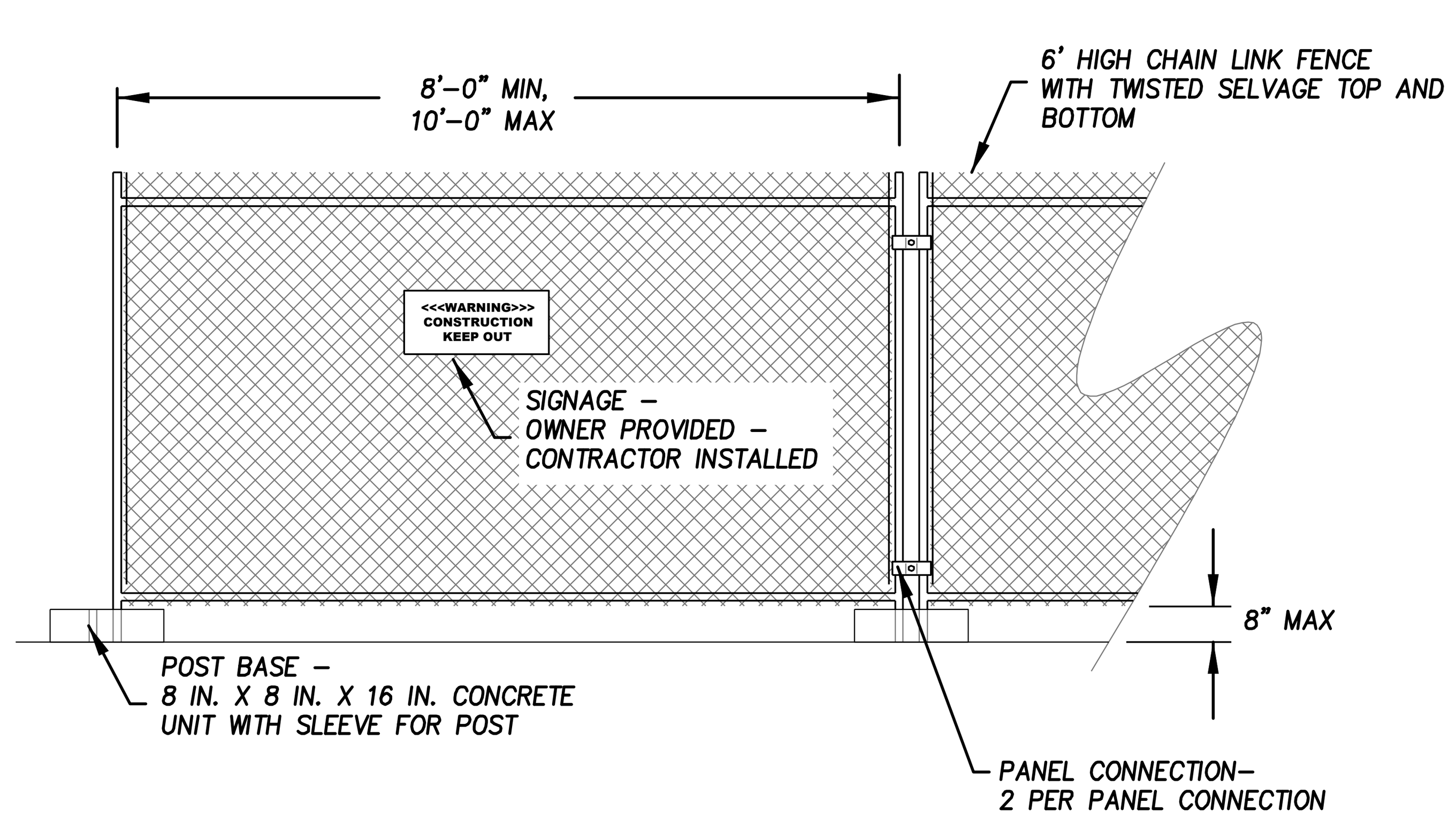
D1.0



1 D1.1 **High Visibility Silt Fence**
SCALE: NTS

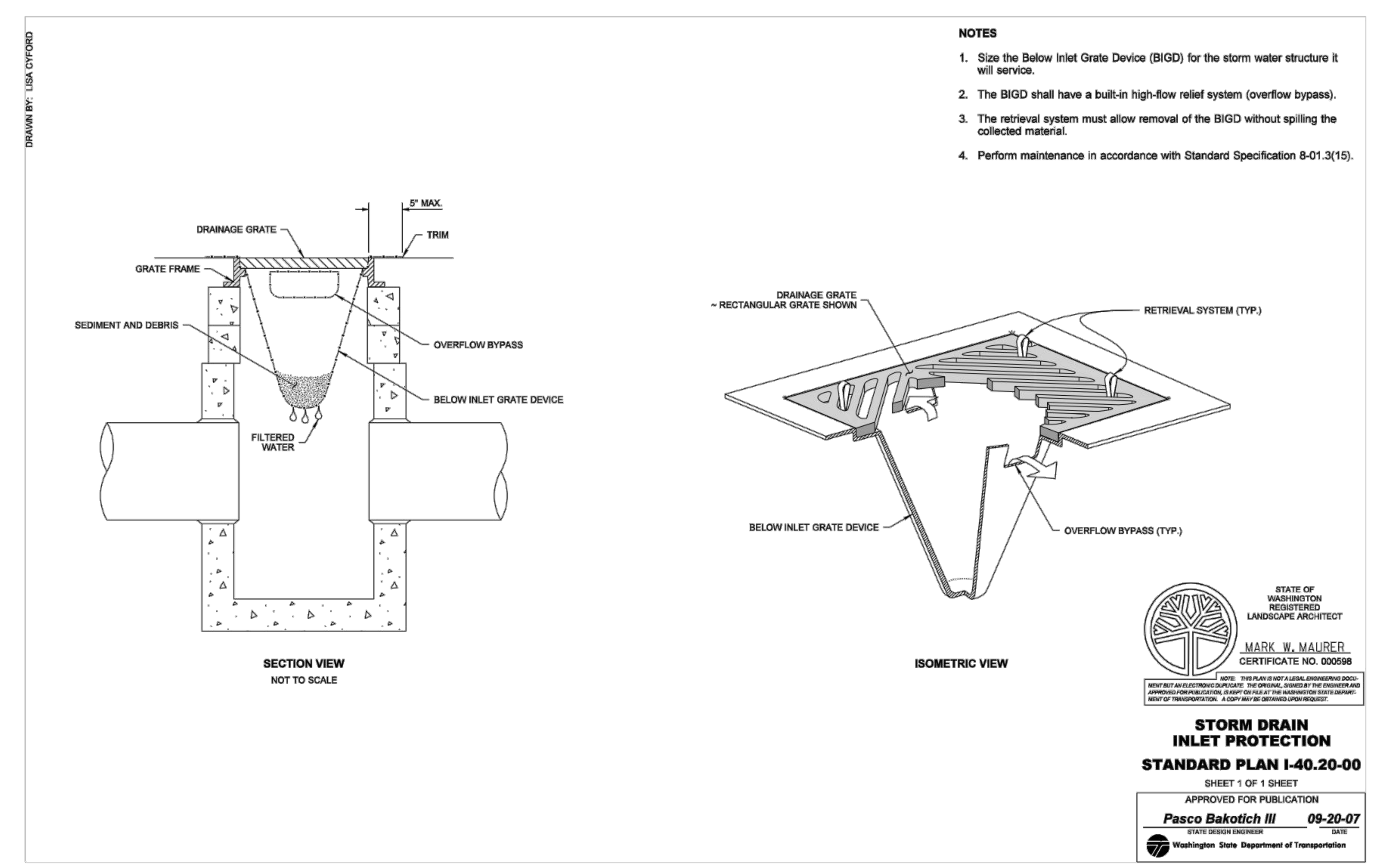


2 D1.1 **Stabilized Construction Entrance**
SCALE: NTS



LOCATION OF CHAINLINK CONSTRUCTION FENCE IS APPROXIMATE. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE FINAL LOCATION AND QUANTITY OF FENCING REQUIRED.

3 D1.1 **Chainlink Construction Fencing**
SCALE: NTS



4 D1.1 **Storm Drain Inlet Protection**
SCALE: NTS

Evergreen Playfield

22231 56th Ave W.
Mountlake Terrace, WA 98043

Robert W. Droll
Landscape Architect, PS
4405 7th Avenue SE, Ste. 203
Lacey, WA 98503
(360) 456-3813
FAX (360) 493-2063
E-MAIL bob@rwdroll.com
Landscape Architecture
Site Planning
Environmental Design
Urban Design
Land Planning
Project Management

10-29-2020

kpff Consulting Engineers
612 Woodland Square Loop SE, Suite 100
Lacey, Washington 98503
(360) 292-7230 Fax (360) 292-7231

Permit Set

PROJECT NO. 19068
DRAWING
DESIGNED BY BD, DC, RT
DRAWN BY RT, PV
CHECKED BY BD

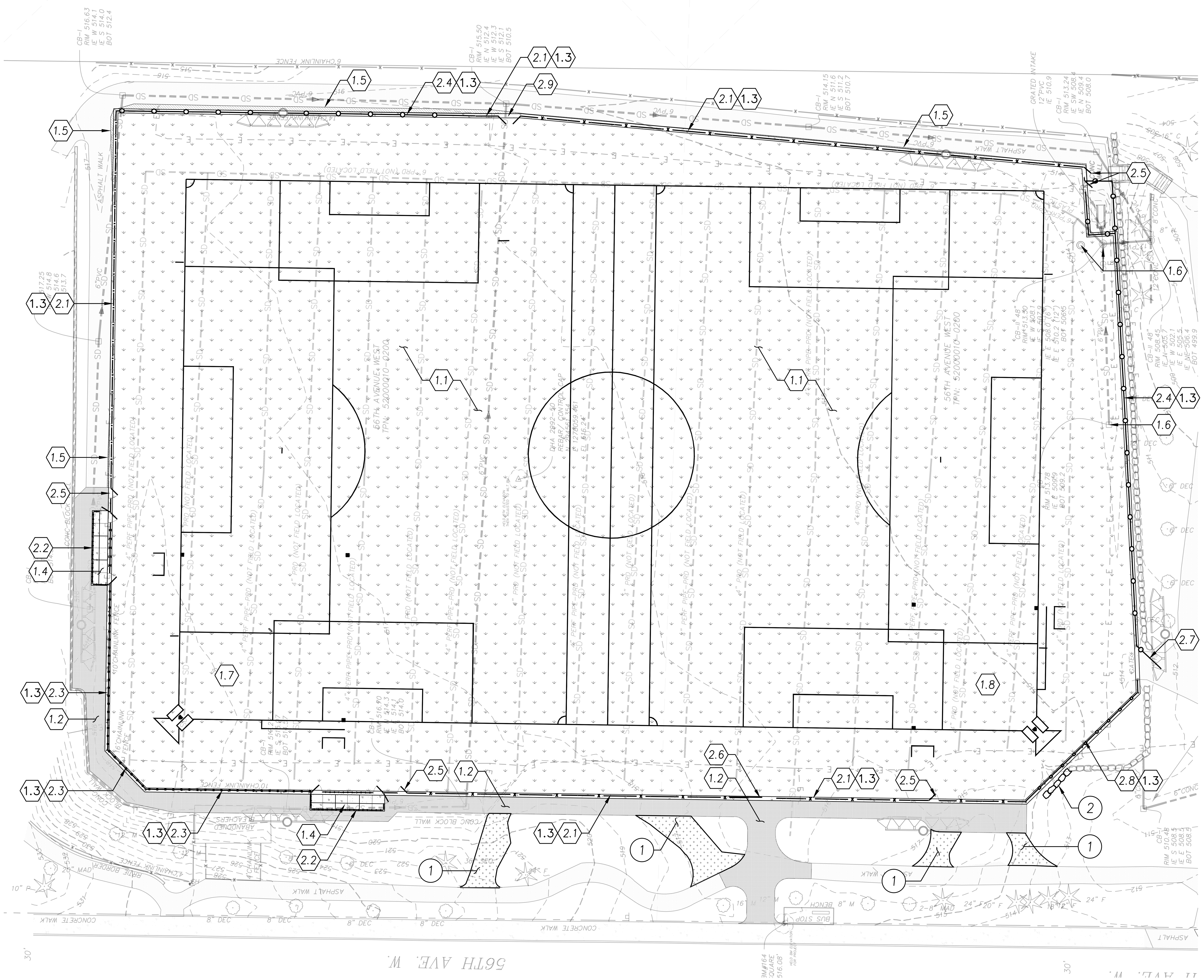
REVISION

DATE	CHANGE

DATE: October 28, 2020

Demo and TESC Details

D1.1



Site Plan Detail Keynotes:

Key	Surfacing	Detail / Sheet
1.1	SYNTHETIC TURF	1/C4.0
1.2	ASPHALT PAVING	2/C4.0
1.3	CEMENT CONCRETE NAILER CURB	5/C4.0
1.4	CEMENT CONC. PAVING	3/C4.0
1.5	ASPHALT PATCH	6/C4.0
1.6	SOLID DRYWELL/CATCH BASIN COVER W/ SYN. TURF CAP	5/C3.1
1.7	LITTLE LEAGUE FIELD LAYOUT	1/C6.0
1.8	TEE BALL FIELD LAYOUT	2/C6.0

Key	Fencing	Detail / Sheet
2.1	6' CHAINLINK FENCE	1/C4.1
2.2	8' CHAINLINK DUGOUT (Covered Under Bldg Permit)	C5.2, C5.3
2.3	LITTLE LEAGUE CHAINLINK BACKSTOP (Covered Under Bldg Permit)	C5.0, C5.1
2.4	REFURBISHED EXISTING 10' CHAINLINK FENCE (Replacing Chainlink Fabric Only)	3/C4.1
2.5	3.5' WIDE 6' CHAINLINK GATE	2/C4.1
2.6	12' WIDE VEHICULAR SLIDING GATE	1/C4.2
2.7	REFURBISHED EXISTING CHAINLINK GATE (Replacing Chainlink Fabric Only)	3/C5.3
2.8	TEE BALL BACKSTOP (Covered Under Bldg Permit)	4/C5.3
2.9	8' WIDE DOUBLE SWING GATE	4/C4.1

Site Plan Reference Notes

KEY	NOTE
1	LANDSCAPE RESTORATION AREA
2	BOULDER WALL EXTENSION, BY OTHERS, NIC

SCALE: 1"=20'

0' 10' 20' 30' 40'

Evergreen Playfield

22231 56th Ave W.
Mountlake Terrace, WA 98043

Robert W. Droll
Landscape Architect, PS

4405 7th Avenue SE, Ste. 203
Lacey, WA 98503
(360) 456-3813
FAX (360) 493-2063
E-MAIL bob@rwdroll.com

Landscape Architecture
Site Planning
Environmental Design

Urban Design
Land Planning
Project Management

STATE OF WASHINGTON — ROBERT W. DROLL — LANDSCAPE ARCHITECT

Permit Set

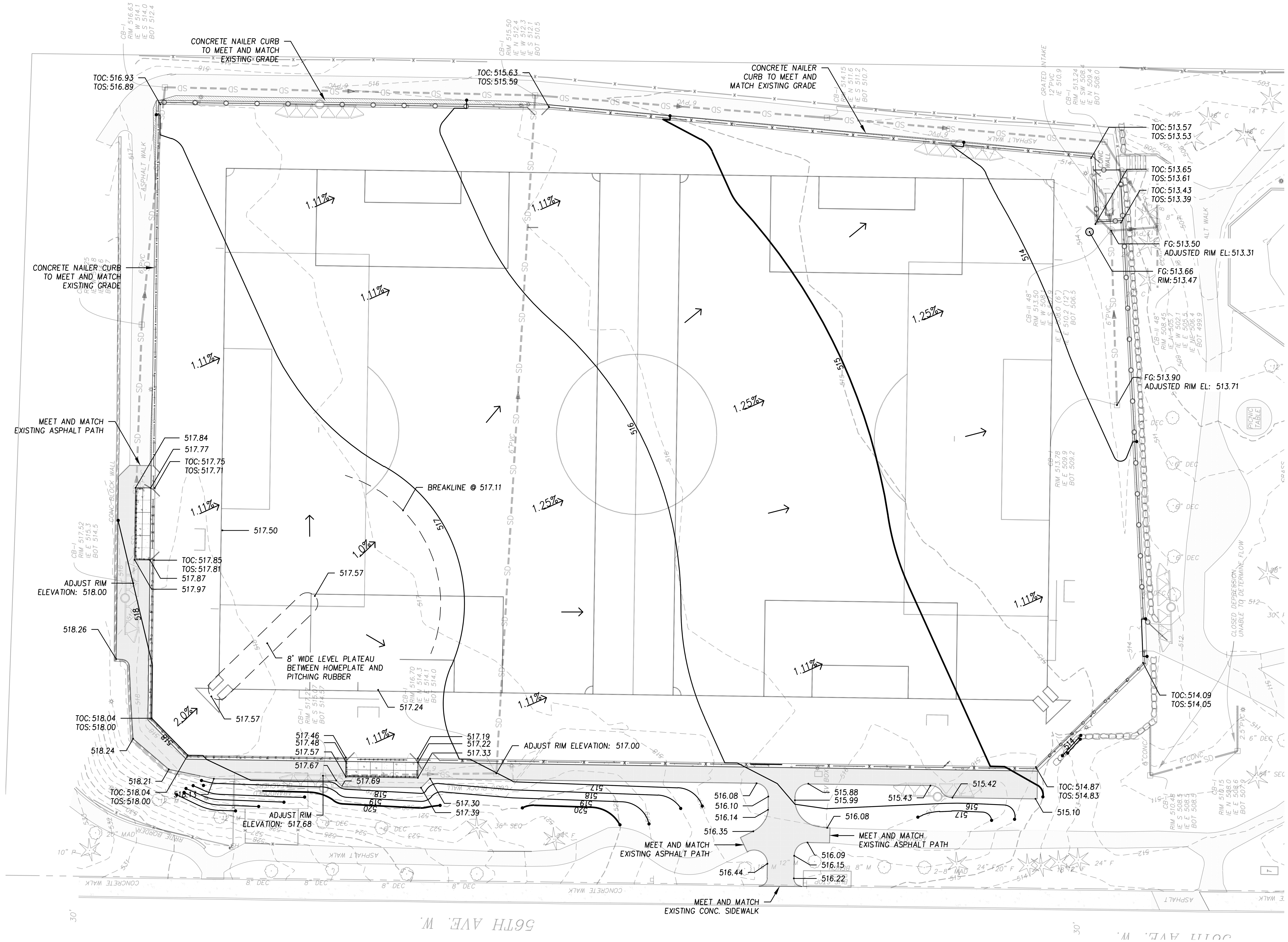
PROJECT NO. 19068
DRAWING
DESIGNED BY BD, DC, RT
DRAWN BY RT, PV
CHECKED BY BD

REVISION DATE	CHANGE

DATE: October 28, 2020

Site Plan

C1.0



Grading Plan Legend

Key	Note
515	CONTOUR – MAJOR
514	CONTOUR – MINOR
TOC: 500	TOP OF CURB SPOT ELEVATION
TOS: 500	TOP OF SYNTHETIC TURF SPOT ELEVATION
1.0%	SLOPE PERCENT

SCALE: 1"=20'

0' 10' 20' 30' 40'

Evergreen Playfield

22231 56th Ave W.
Mountlake Terrace, WA 98043

Robert W. Droll
Landscape Architect, PS

4405 7th Avenue SE, Ste. 203
Lacey, WA 98503
(360) 456-3813
FAX (360) 493-2063
E-MAIL bob@rwdroll.com

Landscape Architecture
Site Planning
Environmental Design

Urban Design
Land Planning
Project Management

STATE OF WASHINGTON – ROBERT W. DROLL – REGISTERED LANDSCAPE ARCHITECT

MARK R. STEEPY – STATE OF WASHINGTON – REGISTERED PROFESSIONAL ENGINEER – 34863
10-29-2020

kpff Consulting Engineers
612 Woodland Square Loop SE, Suite 100
Lacey, Washington 98503
(360) 292-7230 Fax (360) 292-7231

Permit Set

PROJECT NO. 19068
DRAWING

DESIGNED BY BD, DC, RT
DRAWN BY RT, PV
CHECKED BY BD

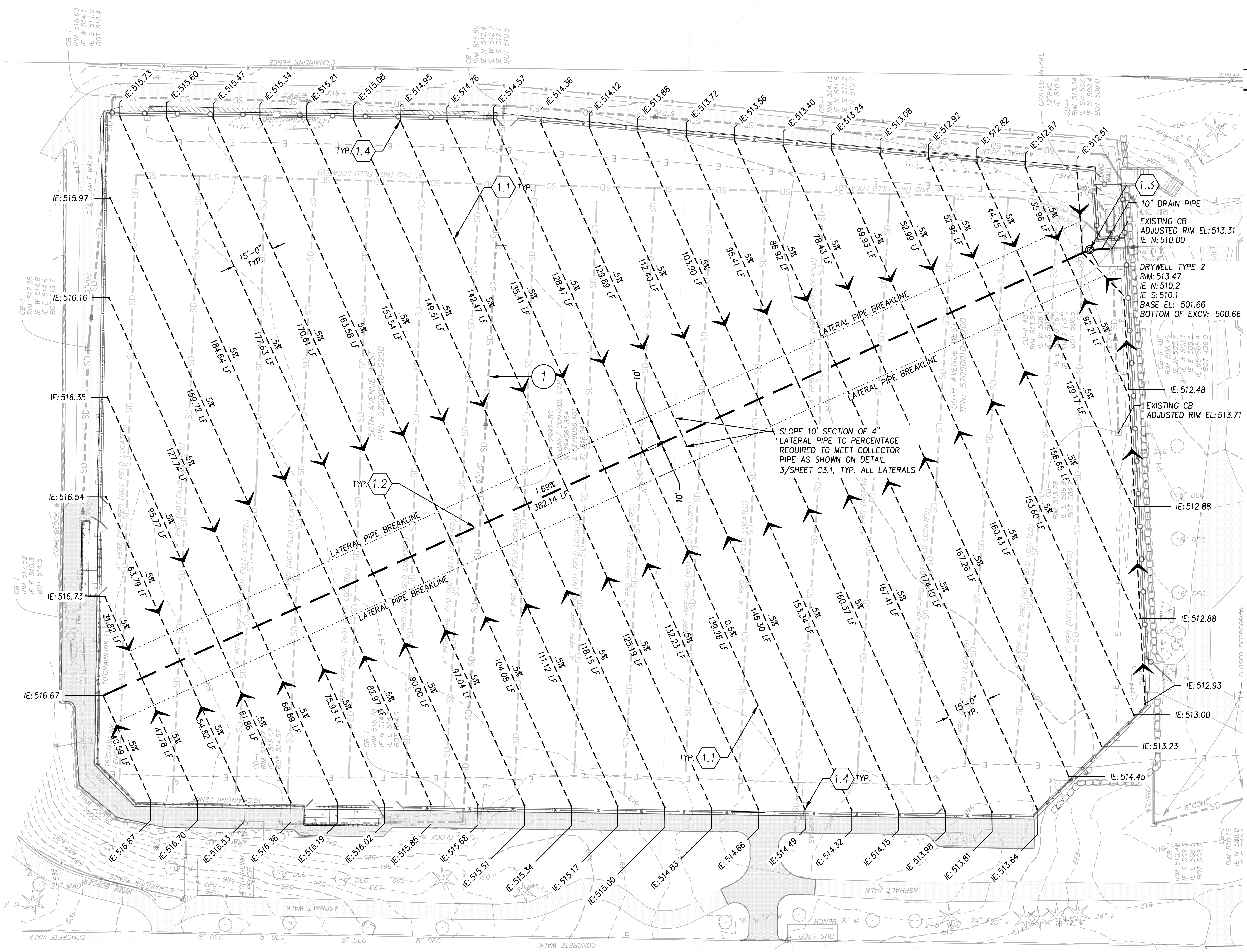
REVISION

DATE	CHANGE

DATE: October 28, 2020

Grading Plan

C2.0



Drainage Plan Detail Keynotes:

1.0 Drainage		Detail / Sheet
1.1	4" SUBDRAIN LATERAL PIPE	1/C3.1
1.2	8" COLLECTOR PIPE	3/C3.1
1.3	DRYWELL TYPE 2	4/C3.1
1.4	SUBDRAIN LATERAL PIPE TERMINUS	2/C3.1

Drainage Plan Reference Notes

KEY	NOTE
1	EXISTING STORM DRAIN TO REMAIN. PROTECT IN PLACE

SCALE: 1"=20'

0' 10' 20' 30' 40'

Evergreen Playfield

22231 56th Ave W.
Mountlake Terrace, WA 98043

Robert W. Droll
Landscape Architect, PS
4405 7th Avenue SE, Ste. 203
Lacey, WA 98503
(360) 456-3813
FAX (360) 493-2063
E-MAIL bob@rwdroll.com

Landscape Architecture
Site Planning
Environmental Design

Urban Design
Land Planning
Project Management

kpff Consulting Engineers
612 Woodland Square Loop SE, Suite 100
Lacey, Washington 98503
(360) 292-7230 Fax (360) 292-7231

10-29-2020

Permit Set

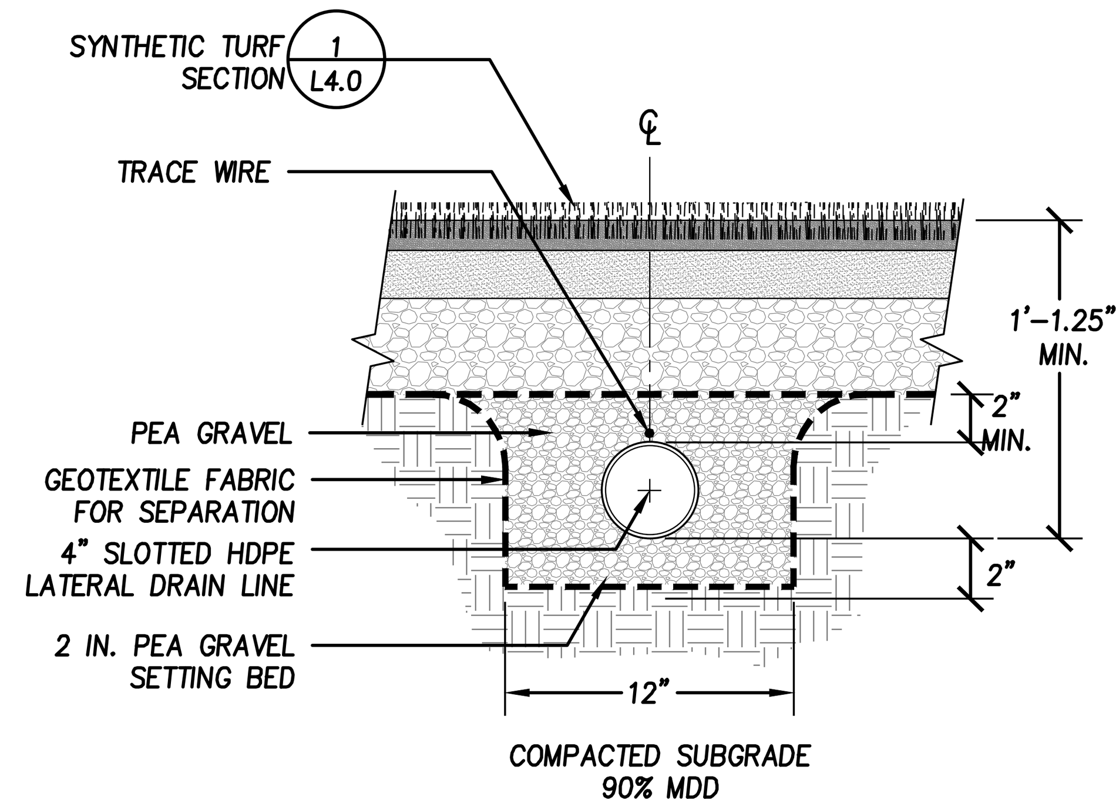
PROJECT NO. 19068
DRAWING
DESIGNED BY BD, DC, RT
DRAWN BY RT, PV
CHECKED BY BD

REVISION DATE	CHANGE

DATE: October 28, 2020

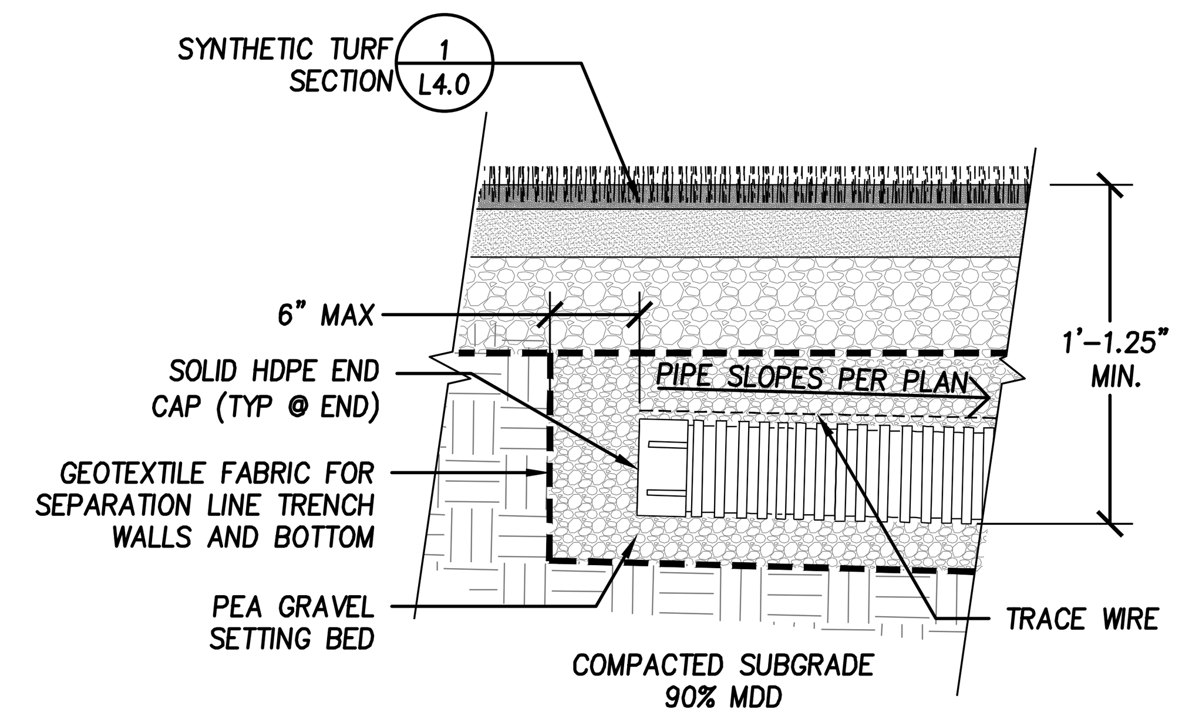
Drainage Plan

C3.0



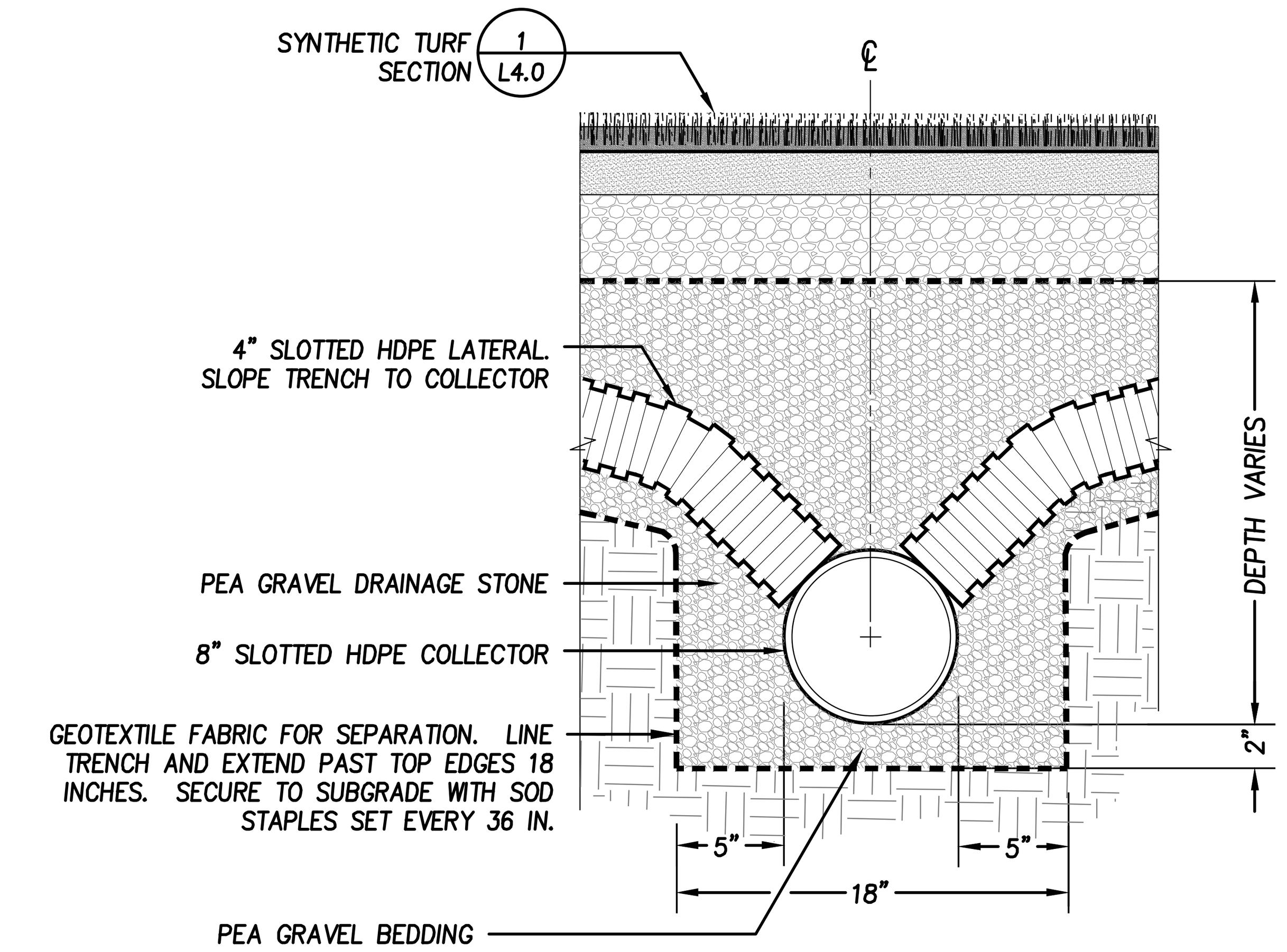
1 C3.1 **4" Subdrain Lateral Pipe**

SCALE: 1½" = 1'-0"



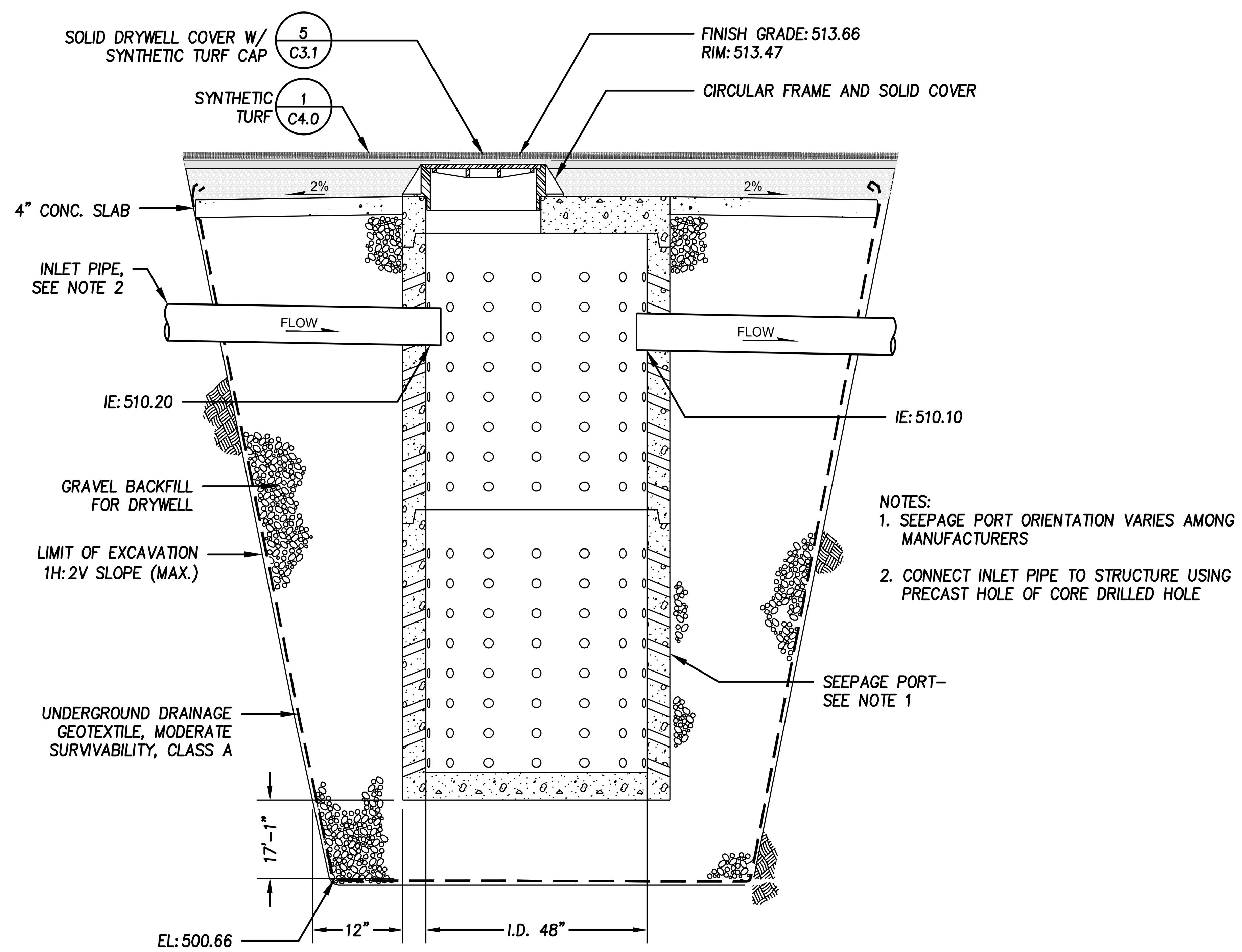
2 C3.1 **Subdrain Lateral Pipe Terminus**

SCALE: 1½" = 1'-0"



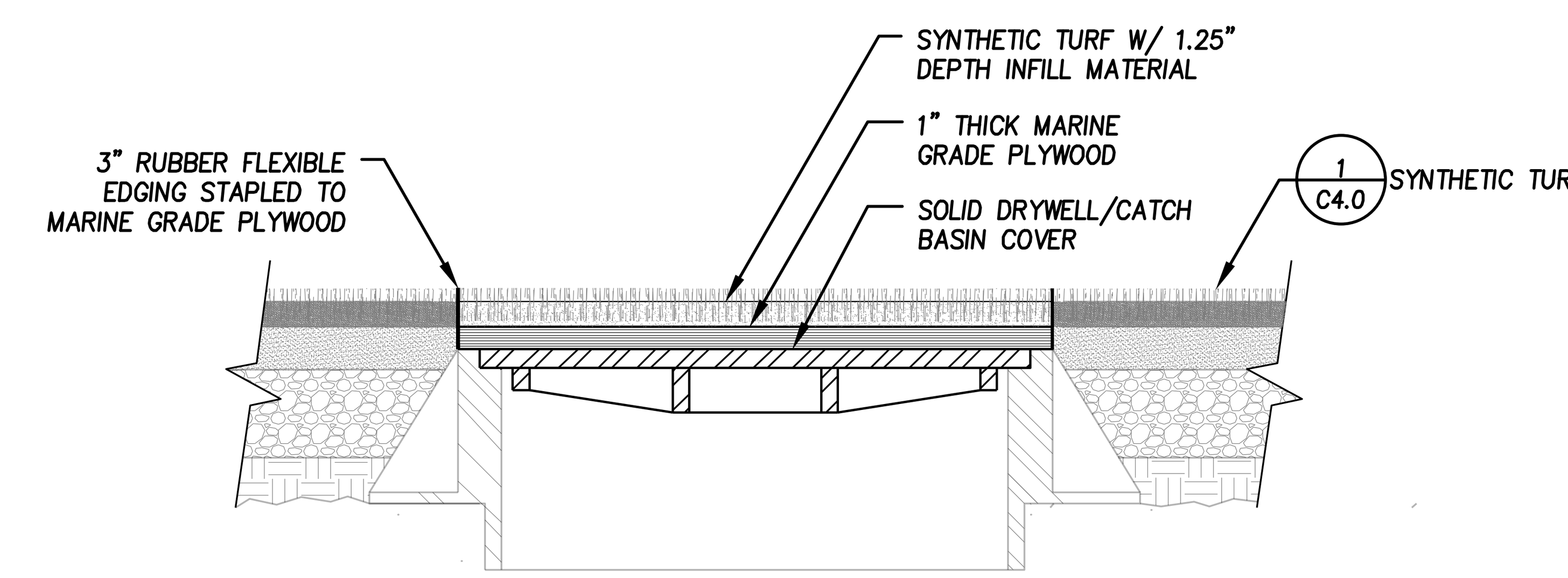
3 C3.1 **8" Collector Pipe**

SCALE: 1½" = 1'-0"



4 C3.1 **Drywell - Type 2**

SCALE: NTS



5 C3.1 **Solid Drywell/Catch Basin Cover w/ Synthetic Turf Cap**

Evergreen Playfield

22231 56th Ave W.
Mountlake Terrace, WA 98043

Robert W. Droll
Landscape Architect, PS
4405 7th Avenue SE, Ste. 203
Lacey, WA 98503
(360) 456-3813
FAX (360) 493-2063
E-MAIL bob@rwdroll.com

Landscape Architecture
Site Planning
Environmental Design

Urban Design
Land Planning
Project Management

STATE OF WASHINGTON — ROBERT W. DROLL — LANDSCAPE ARCHITECT

MARK R. STEEPY — STATE OF WASHINGTON — REGISTERED PROFESSIONAL ENGINEER — 34863

10-29-2020

kpff Consulting Engineers
612 Woodland Square Loop SE, Suite 100
Lacey, Washington 98503
(360) 292-7230 Fax (360) 292-7231

Permit Set

PROJECT NO. 19068
DRAWING

DESIGNED BY BD, DC, RT
DRAWN BY RT, PV
CHECKED BY BD

REVISION DATE	CHANGE

DATE: October 28, 2020

Drainage Details

C3.1

Sheet 10 of 19